

Apex Roof Inspections



Drone Roof Inspection Report Sample

Document Type: Inspection Report	Distribution Status: External	Document Number: ARI-20260127-001
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Client Name: David Smith

Site Address: 123 Melbourne Street, Melbourne, VIC 1234 (Confidentiality)

Inspection by: Apex Roof Inspections – CASA Compliant operation

This report contains high-resolution drone imagery of the property's roof and accessible exterior areas. Images are annotated where potential issues are visible. This is a visual assessment only; no physical inspection was performed.

Inspection Time and Date: 9:00AM,
01/03/2026

Report Release Date: 02/03/2026



Contents

- 1. **Executive Summary** 2
 - 1.1 Key Findings..... 2
 - 1.2 Urgent Items 3
- 2. **Property & Inspection Overview** 3
 - 2.1 Property Information 3
 - 2.2 Inspection Conditions 3
- 3. **Inspection Findings Summary** 4
 - 3.1 Severity Key 4
 - 3.2 Findings Summary Table..... 5
- 4. **Detailed Inspection Findings.** 6
 - 4.1 Finding R-01..... 6
 - 4.2 Finding R-02..... 8
 - 4.3 Finding R-03..... 10
 - 4.4 Finding R-04..... 12
- 5. **General Condition Notes (Non-Critical)**..... 15
- 6. **Recommendation Summary** 15
- 7. **Inspection Scope, Terms and Limitations**..... 16
 - 7.1 Scope of Inspection 16
 - 7.2 Limitations of Inspection 16
 - 7.3 Disclaimer 17
 - 7.4 Weather Conditions 17
 - 7.5 Regulatory Compliance..... 17
 - 7.6 Professional Credentials 18
- 8. **Appendix**..... 18
 - 8.1 Appendix A – Detailed Description of Defects..... 18
 - 8.2 Appendix B – Annotated Images of Defects 19



1. Executive Summary

A drone-based visual inspection of the roof was conducted to assess the condition of visible roof surfaces and associated components at the time of inspection.

The roof is assessed to be in good condition, showing age-related wear consistent with a concrete tile roof of approximately 20 years. Multiple cracked and slipped roof tiles were identified across all roof sections, as well as a few degraded tiles from a water drain source, along with areas of algae growth, primarily on the metal Carport roof plane and South Polycarbonate roof plane.

While no urgent defects were observed at the time of inspection, the identified issues increase the likelihood of water ingress and progressive deterioration if left unaddressed. Based on current Melbourne contractor rates, total estimated rectification costs range from **\$1,445 to \$2,925**, broken down as follows:

- Tile replacement (approx. 64 cracked and slipped tiles) — **\$895 - \$1675**
- Algae and lichen treatment — **\$400 – \$900**
- Roof vent resealing — **\$150 – \$350**

These are indicative estimates only, a licensed roofing contractor should be engaged to confirm scope and pricing before works commence.

Targeted maintenance and tile replacement are recommended within the next 6–12 months to reduce risk and prevent escalation of repair scope. This inspection was visual and non-invasive only. No physical access or internal assessment was performed.

OVERALL CONDITION RATING: ● GOOD

Scale: Excellent • Good • Fair • Poor • Critical

1.1 Key Findings

- Multiple cracked and damaged tiles identified in sections R02, R03 and R04 of the roof.
- Multiple slipped tiles identified in sections R02, R03 and R04 of the roof.
- A few degraded tiles caused by water drain source in section R02 of the roof.
- Observed Algae and Lichen formation, primarily in sections R01 and R05 of the roof.
- Resealing of roof vents is advised for regular maintenance purposes.
- No visible major structural defects observed.

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	2/21



1.2 Urgent Items

No urgent defects were identified at the time of inspection.

2. Property & Inspection Overview

2.1 Property Information

Table 1 – Property Information

Address	123 Melbourne Street, Melbourne, VIC 1234
Property Type	Residential Double-story
Roof Pitch	Moderate (22-25 degrees)
Primary Roof Material	Concrete tile roof
Approximate Roof Age	20 years old

2.2 Inspection Conditions

Table 2 - Inspection Conditions

Inspection Date	01/03/2026
Time	9:00am – 9:30am
Weather	Sunny with light winds.
Images Captured	22

Inspection Overview: The roof was inspected using a drone to capture high-resolution imagery of visible roof areas. An overview image has been included below to assist with the orientation and reference. Non-invasive aerial visual inspection conducted from external vantage points only.



Figure 1 – Top-down view of Property.

3. Inspection Findings Summary

Severity ratings are assigned based on:

- The visible condition of the item
- Likelihood of deterioration
- Potential impact if the issue progresses

3.1 Severity Key

- **Good** – No defects observed (Routine maintenance only)
- **Monitor** – Minor deterioration (Low priority)
- **Repair Recommended** – Active defect present (Repair within 3–6 months)
- **Urgent** – High likelihood of failure (Immediate attention required)



3.2 Findings Summary Table

Sections R01 – R05 correspond to specific areas of the roof to improve clarity and ease of reference within this report. A summary of the inspection findings can be found in table 3.

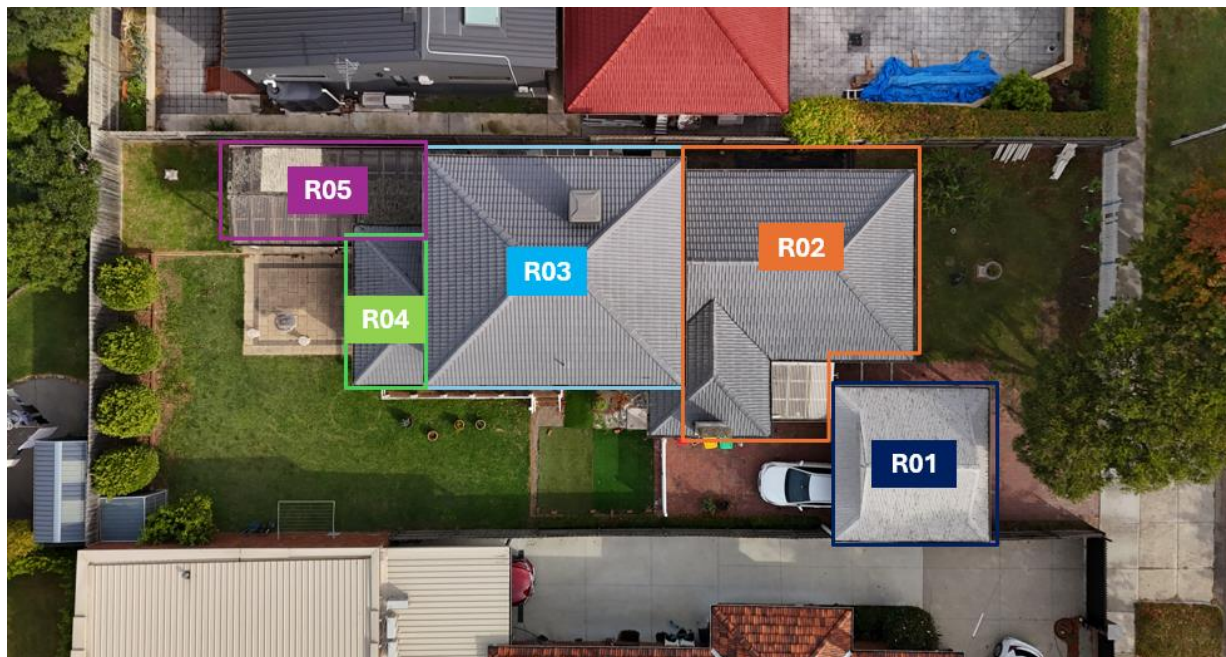


Figure 2 – Sections of Property.

Table 3 - Findings Summary

Ref ID	Roof Area/ Location	Issue Description	Severity	Recommended Action
R01	Carport Roof	Algae formation	🔴 Repair Recommended	Schedule roof clean and treatment.
R02	North First Floor Roof	Cracked Roof Tiles Slipped Roof Tiles Algae formation	🔴 Repair Recommended	Replace defective tiles within 3–6 months. Schedule roof clean and treatment.
R03	Second Floor Roof	Cracked Roof Tiles Slipped Roof Tiles Algae formation	🟡 Monitor	Replace defective tiles within 3–6 months. Schedule roof clean and treatment.
R04	South First Floor Roof	Cracked Roof Tiles Algae formation	🟡 Monitor	Replace defective tiles within 3–6 months. Schedule roof clean and treatment.
R05	South Polycarbonate Roof	Algae formation	🔴 Repair Recommended	Schedule roof clean and treatment.



4. Detailed Inspection Findings.

This section provides a detailed description of each inspection finding identified in each individual section of the roof (R01-R05). The location, defects, defect extent, risks, recommended action and supporting annotated images can be found for each section of the roof.

4.1 Roof Section R01 – Carport Roof

Location: Carport Roof

Defects Identified:

- Algae Formation (*Ref: Appendix A, A2 for further details*)

Extent:

- Algae coverage across ~75% of roof plane

Severity: 🟡 Repair Recommended

Potential Risks:

- **Algae Formation** – May retain moisture on roof surfaces, potentially accelerating surface deterioration and increasing maintenance requirements.

Recommended Action:

- Schedule professional roof cleaning and treatment within 6 months

Estimated repair cost: \$400 - \$900 (*Algae and Lichen treatment for whole roof*)



Annotated figures:

Further detailed photos and photos can be found in **Appendix B**.



Figure 3 – R01 annotated figure evidence 1

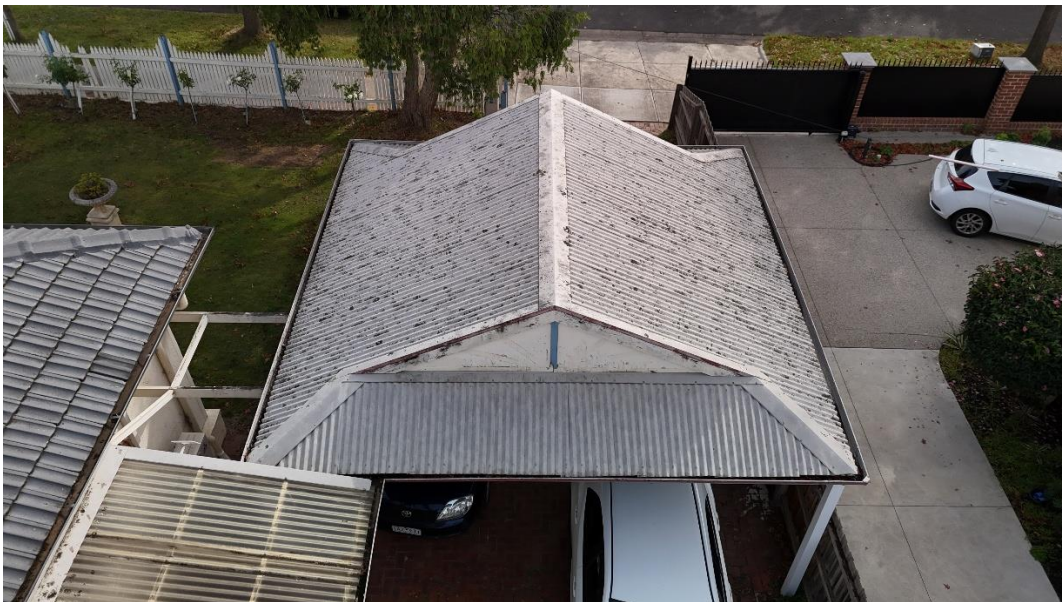


Figure 4 - R01 annotated figure evidence 2

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	7/21



4.2 Roof Section R02 – North First Floor Roof

Location: North First Floor Roof

Defects Identified:

- Cracked Roof Tiles (*Ref: Appendix A, A1 for further details*)
- Slipped Roof Tiles (*Ref: Appendix A, A1 for further details*)
- Algae Formation (*Ref: Appendix A, A2 for further details*)
- Degraded Roof Tiles (*Ref: Appendix A, A3 for further details*)

Extent:

- Approximately 1 cracked tile
- Approximately 3 slipped tiles
- Algae coverage across ~5% of roof plane
- Approximately 2 degraded tiles by water drain

Severity: 🟡 Repair Recommended

Potential Risks:

- **Cracked Tiles** – Increase water ingress during rainfall, increasing the risk of underlying material deterioration over time.
- **Slipped Tiles** – Gaps in the roof covering may form, increasing the risk of water ingress and further tile displacement.
- **Algae Formation** – Retain moisture on roof surfaces, potentially accelerating surface deterioration and increasing maintenance requirements.
- **Degraded Tiles** – May reduce weather resistance and increase water absorption, accelerating freeze-thaw damage and substrate deterioration.

Recommended Action:

- Replace identified damaged tiles within 3–6 months by a licensed roofing contractor
- Schedule professional roof cleaning and treatment within 6 months

Estimated repair cost: \$210 – \$390 (*based on approx. 6 tiles at Melbourne contractor rates — verify with licensed roofer*) + \$400 - \$900 (*Algae and Lichen treatment for whole roof*)

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	8/21



Annotated figures:

Further detailed photos and photos can be found in **Appendix B**.



Figure 5 – R02 annotated figure evidence 1



Figure 6 – R02 annotated figure evidence 2

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	9/21



4.3 Roof Section R03 – Second Floor Roof

Location: Second Floor Roof

Defects Identified:

- Cracked Roof Tiles (*Ref: Appendix A, A1 for further details*)
- Slipped Roof Tiles (*Ref: Appendix A, A1 for further details*)
- Algae Formation (*Ref: Appendix A, A2 for further details*)

Extent:

- Approximately 8 cracked tiles
- Approximately 3 slipped tiles
- Algae coverage across ~ 1% of roof plane

Severity: ● Monitor

Potential Risks:

- **Cracked Tiles** – May allow water ingress during rainfall, increasing the risk of underlying material deterioration over time.
- **Slipped Tiles** – Create exposed gaps in the roof covering, increasing the risk of water ingress and further tile displacement.
- **Algae Formation** – May retain moisture on roof surfaces, potentially accelerating surface deterioration and increasing maintenance requirements.

Recommended Action:

- Replace identified damaged tiles within 6-12 months by a licensed roofing contractor.
- Schedule professional roof cleaning and treatment within 12 months

Estimated repair cost: \$370 – \$700 (*based on approx. 11 tiles at Melbourne contractor rates — verify with licensed roofer*) + \$400 - \$900 (*Algae and Lichen treatment for whole roof*)

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	10/21



Annotated figures:

Further detailed photos and photos can be found in **Appendix B**.

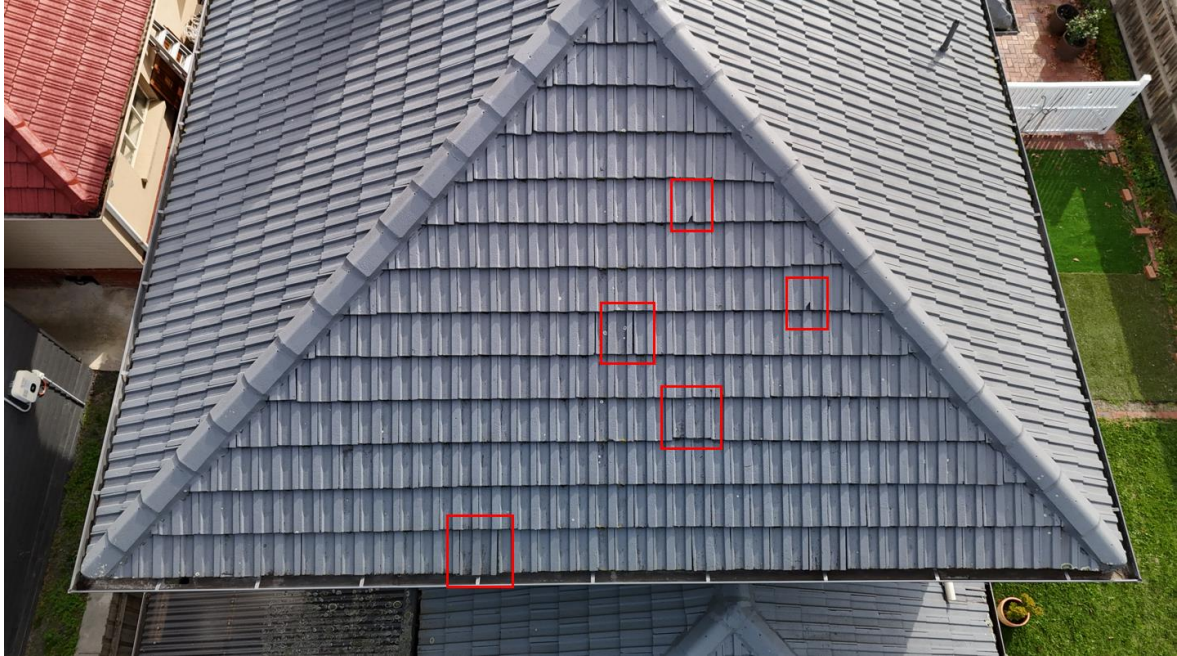


Figure 7 – R03 annotated figure evidence 1

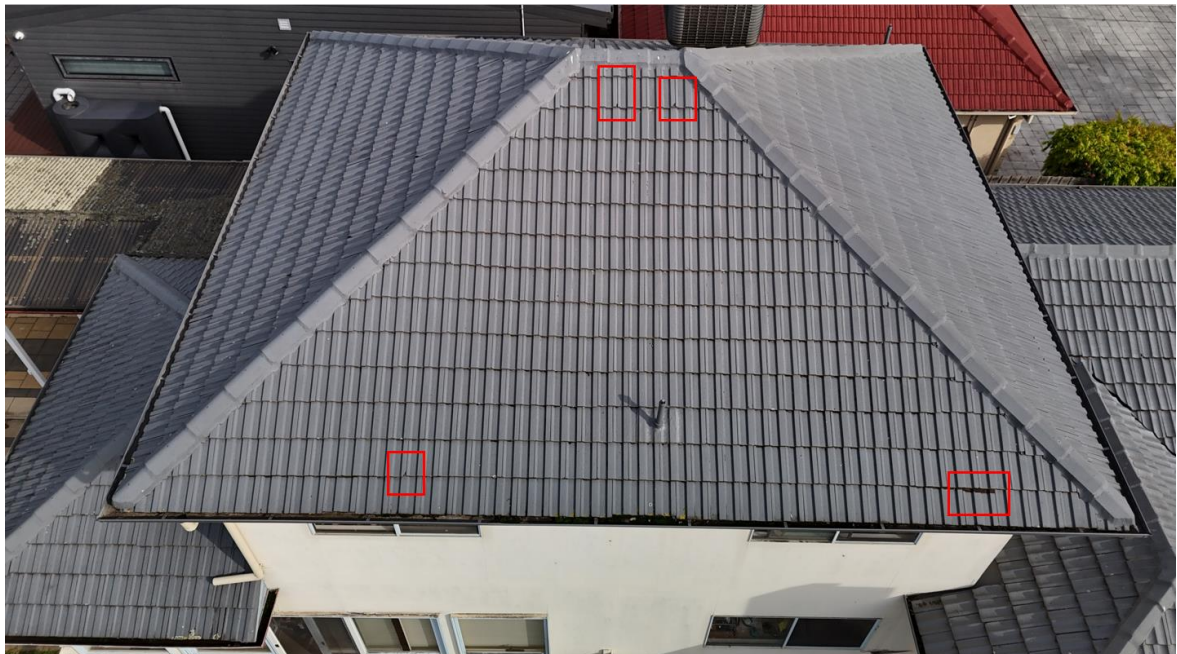


Figure 8 – R03 annotated figure evidence 2



4.4 Roof Section R04 – South First Floor Roof

Location: South First Floor Roof

Defects Identified:

- Cracked Roof Tile (*Ref: Appendix A, A1 for further details*)
- Algae Formation (*Ref: Appendix A, A2 for further details*)

Extent:

- Approximately 7 cracked tiles.
- Algae coverage across ~5% of roof plane

Severity: 🟡 Monitor

Potential Risks:

- **Cracked Tiles** – May allow water ingress during rainfall, increasing the risk of underlying material deterioration over time.
- **Algae Formation** – May retain moisture on roof surfaces, potentially accelerating surface deterioration and increasing maintenance requirements.

Recommended Action:

- Replace identified damaged tiles within 3–6 months by a licensed roofing contractor
- Schedule professional roof cleaning and treatment within 6 months

Estimated repair cost: \$315 – \$585 (*based on approx. 7 tiles at Melbourne contractor rates — verify with licensed roofer*) + \$400 - \$900 (*Algae and Lichen treatment for whole roof*)

Annotated figures:

Further detailed photos and photos can be found in **Appendix B**.

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	12/21



Figure 9 - R04 annotated figure evidence 1



Figure 10 - R04 annotated figure evidence 2



4.5 Roof Section R05 – South Polycarbonate Roof

Location: South Polycarbonate Roof

Defects Identified:

- Algae Formation (*Ref: Appendix A, A2 for further details*)

Extent:

- Algae coverage across ~60% of roof plane

Severity: 🟡 Repair Recommended

Potential Risks:

- **Algae Formation** – May retain moisture on roof surfaces, potentially accelerating surface deterioration and increasing maintenance requirements.

Recommended Action:

- Schedule professional roof cleaning and treatment within 6 months

Estimated repair cost: \$400 - \$900 (*Algae and Lichen treatment for whole roof*)

Annotated figures:

Further detailed photos and photos can be found in **Appendix B**.

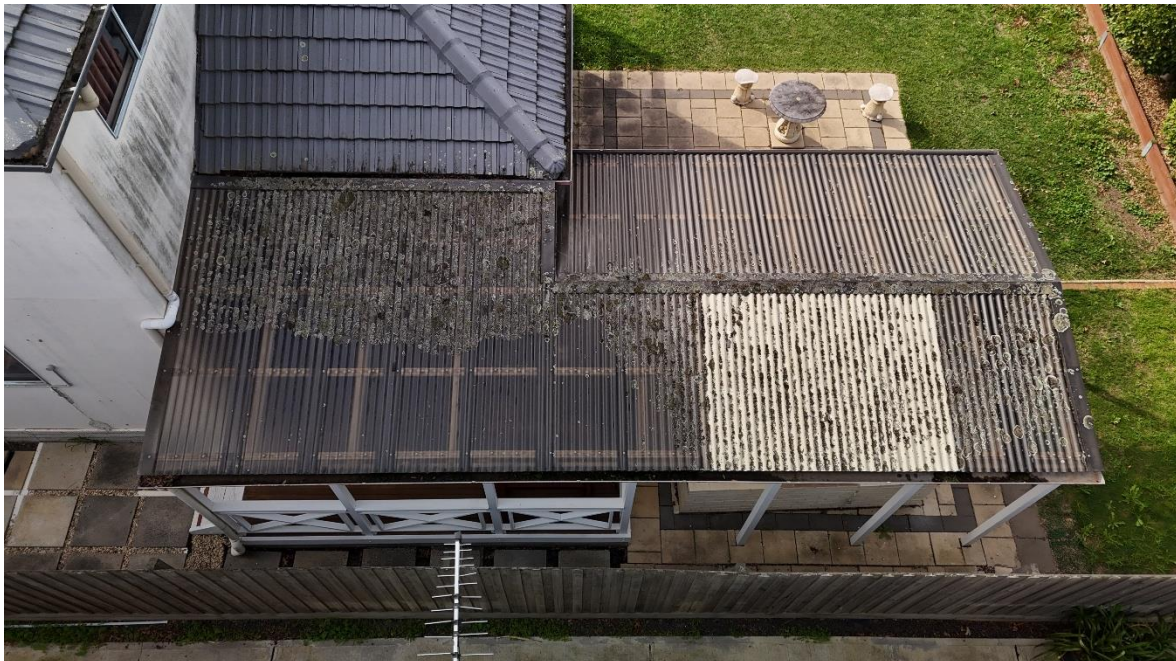


Figure 11 - R05 annotated figure evidence 1



5. General Condition Notes (Non-Critical)

The following notes are non-critical, visual observations only and do not require action.

Main Structural Integrity

The overall roof structure appears sound with no visible sagging, deformation, or structural movement. Ridge lines are straight and true. No evidence of rafter deflection or structural compromise.

Chimney Condition

Both chimneys are structurally sound with intact pointing and functional chimney pots. Flashing around chimney bases shows no significant deterioration. Images of the Chimney can be found in Appendix B, figure 21 and figure 22.

6. Recommendation Summary

Table 4 – Recommendation Summary

Priority	Issue	Location	Recommended Action	Est. Cost (AUD)
🔴 Repair Recommended	Damaged and Slipped tiles	Second Floor, North First Floor and South First Floor	Replace approximately 24 cracked or slipped tiles to reduce risk of water ingress within 3–6 months.	\$895 - \$1,675
🔴 Repair Recommended	Algae and Lichen growth	All sections	Roof cleaning and biocide treatment within 6 months.	\$400 - \$900
🟢 Monitor	Resealing roof vents	Roof Vent locations	Reseal roof vents as part of routine maintenance.	\$150 - \$350



7. Inspection Scope, Terms and Limitations

7.1 Scope of Inspection

This inspection was conducted using an unmanned aerial vehicle (drone) to visually assess accessible and visible areas of the roof and associated external components at the time of inspection.

The scope of this inspection included:

- Roof surfaces visible from above
- Gutters and drainage channels
- Roof penetrations such as vents, skylights, and flues
- Valleys, flashings, and ridge caps where visible
- General roof condition based on visual observation only.

No physical contact with the roof or building structure was made during this inspection.

This inspection has been conducted with reference to AS 4349.1 – Inspection of Buildings (Residential Buildings) where applicable.

7.2 Limitations of Inspection

This inspection is limited to a non-invasive, visual assessment only and does not constitute a structural or building compliance inspection.

The following items were not inspected or assessed:

- Internal roof spaces or ceiling cavities
- Areas obscured by roof coverings, insulation, or debris.
- Underlying structural components
- Concealed defects or damage not visible at the time of inspection
- Weather-related issues that may not be apparent during dry conditions

The findings in this report reflect the condition of visible areas only at the time of inspection.



7.3 Disclaimer

This report is prepared for the exclusive use of the client named on the cover page. While every effort has been made to ensure accuracy, drone inspections have inherent limitations and cannot detect all defects. We do not accept liability for defects not visible during the aerial inspection or for issues that develop after the inspection date.

This report does not constitute a structural engineering report, building certification, or warranty of roof condition. Property owners should seek additional specialist advice where specific concerns exist.

This report reflects conditions observed on the inspection date only (01 February 2026). Roof conditions can change due to weather events, continued deterioration, or other factors. This report should not be relied upon after 90 days from inspection date without a follow-up inspection.

7.4 Weather Conditions

The inspection was conducted under the following weather conditions:

- **Conditions:** Sunny
- **Wind:** Light
- **Precipitation:** None

Weather conditions at the time of inspection were considered suitable for safe drone operation and adequate visual assessment.

7.5 Regulatory Compliance

This inspection was conducted in accordance with the Civil Aviation Safety Authority (CASA) regulations under Part 101 of the Civil Aviation Safety Regulations.

All drone operations were performed by a qualified operator, within permitted airspace, and in compliance with applicable safety, privacy, and operational requirements. Public liability insurance was held and active at the time of inspection.

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	17/21



7.6 Professional Credentials

Operator: Apex Roof Inspections

CASA Compliant Commercial Operations (RePL: 1173547)

Public Liability Insurance: \$10 million

Professional Indemnity Insurance: \$5 million

8. Appendix

8.1 Appendix A – Detailed Description of Defects.

A1 - Cracked & Slipped Tiles

Description: Fractured, chipped, or displaced roof tiles observed during visual inspection.

Why it matters: May allow water ingress and lead to progressive deterioration of the roof covering and underlying materials if left unaddressed.

A2 - Algae Formation

Description: Biological growth observed on roof surfaces, typically in shaded or moisture-prone areas.

Why it matters: Retains moisture on roof surfaces, accelerating surface deterioration and increasing future maintenance requirements.

A3 – Degraded Tiles

Description: Tile has visible degrading from drain water source.

Why it matters: May reduce weather resistance and increases water absorption, accelerating freeze-thaw damage and substrate deterioration.



8.2 Appendix B – Annotated Images of Defects



Figure 12 – R01 annotated image 1



Figure 13 - R02 annotated image 1



Figure 14 - R02 annotated image 2



Figure 15 - R02 annotated image 3

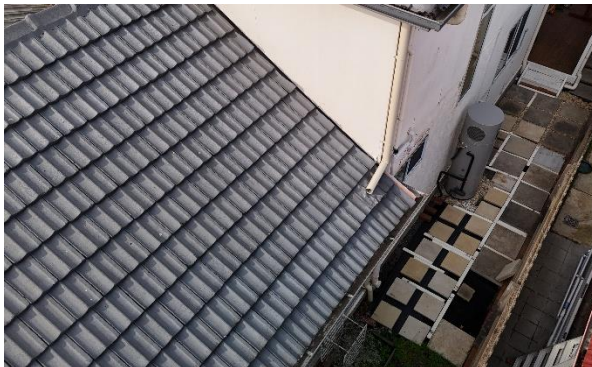


Figure 16 - R02 annotated image 4



Figure 17 - R03 annotated image 1

Date	Document Reference	Document	Prepared By	Page
02/03/2026	ARI-20260127-001	Drone Roof Visual Assessment	Apex Roof Inspections	19/21

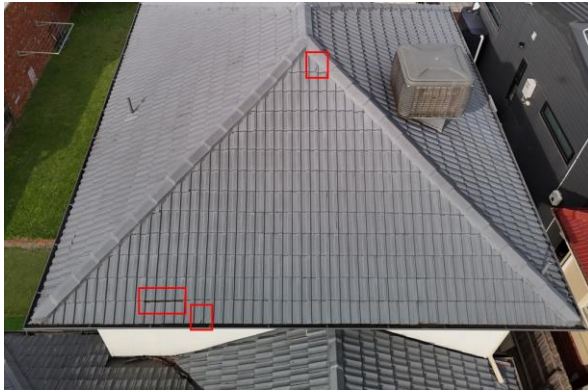


Figure 18 - R03 annotated image 2



Figure 19 - R04 annotated image 2



Figure 20 - R05 annotated image 1




Figure 21 - Chimney Image 1





Figure 22 - Chimney image 2



Contact Information

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